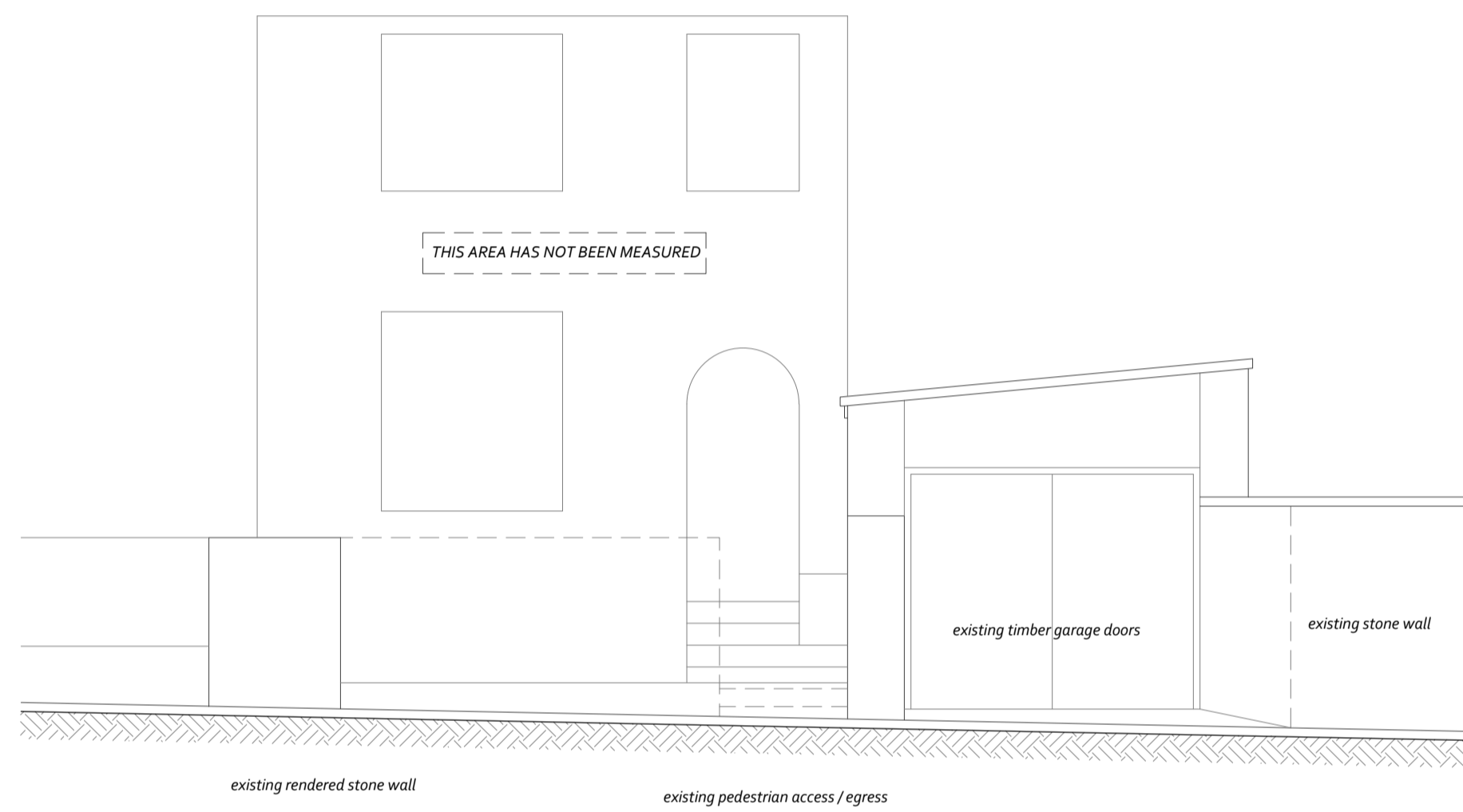


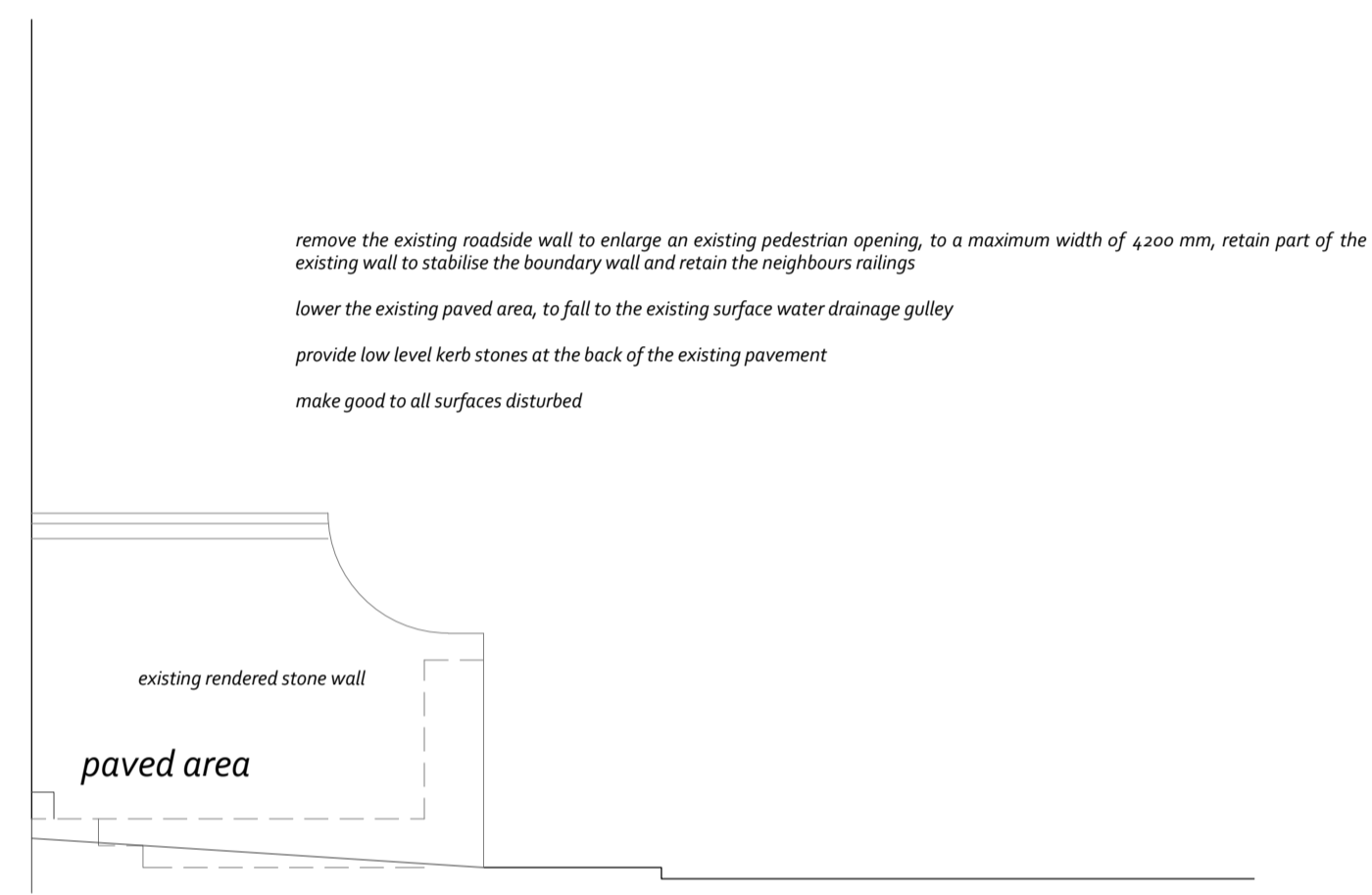
block plan

approximate scale 1 : 500 @ A1 for identification purposes only - **DO NOT SCALE OFF THIS PLAN**
 this location plan has been taken from a map of the Island of Guernsey dated 2004



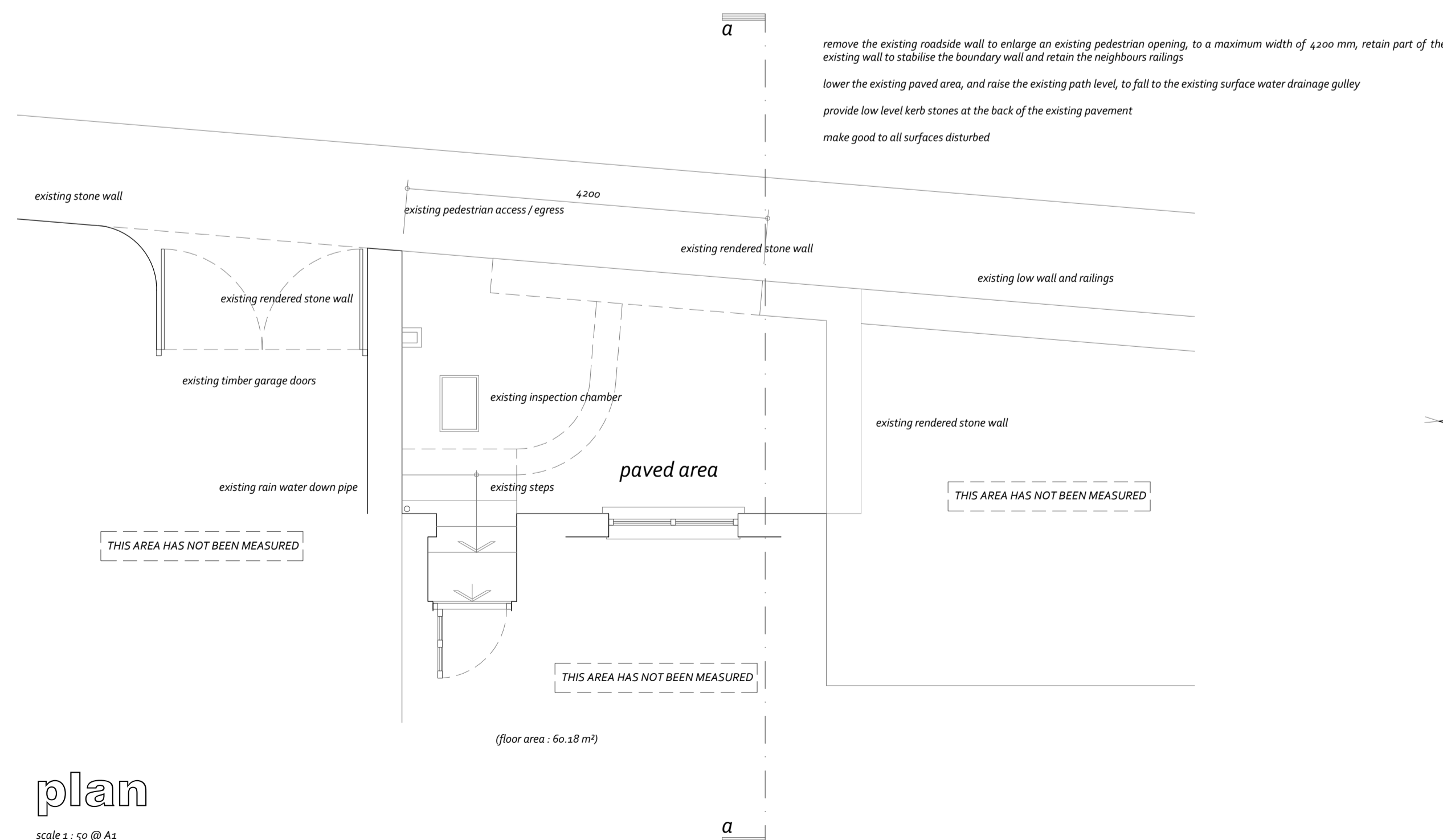
south elevation

scale 1 : 50 @ A1



section a-a

scale 1 : 50 @ A1



plan

scale 1 : 50 @ A1

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Detailed and larger scaled drawings take preference over scaled drawings

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No guarantee will be given that the works will receive the necessary statutory approvals

All dimensions are in millimetres, and whilst every effort has been made to ensure accuracy, this cannot be guaranteed

Every effort has been undertaken to ensure that the drawings supplied are to the scale noted, no guarantee can be given that the printing process provides the exact scaled drawings, any discrepancies must be reported to Brian R Martel immediately

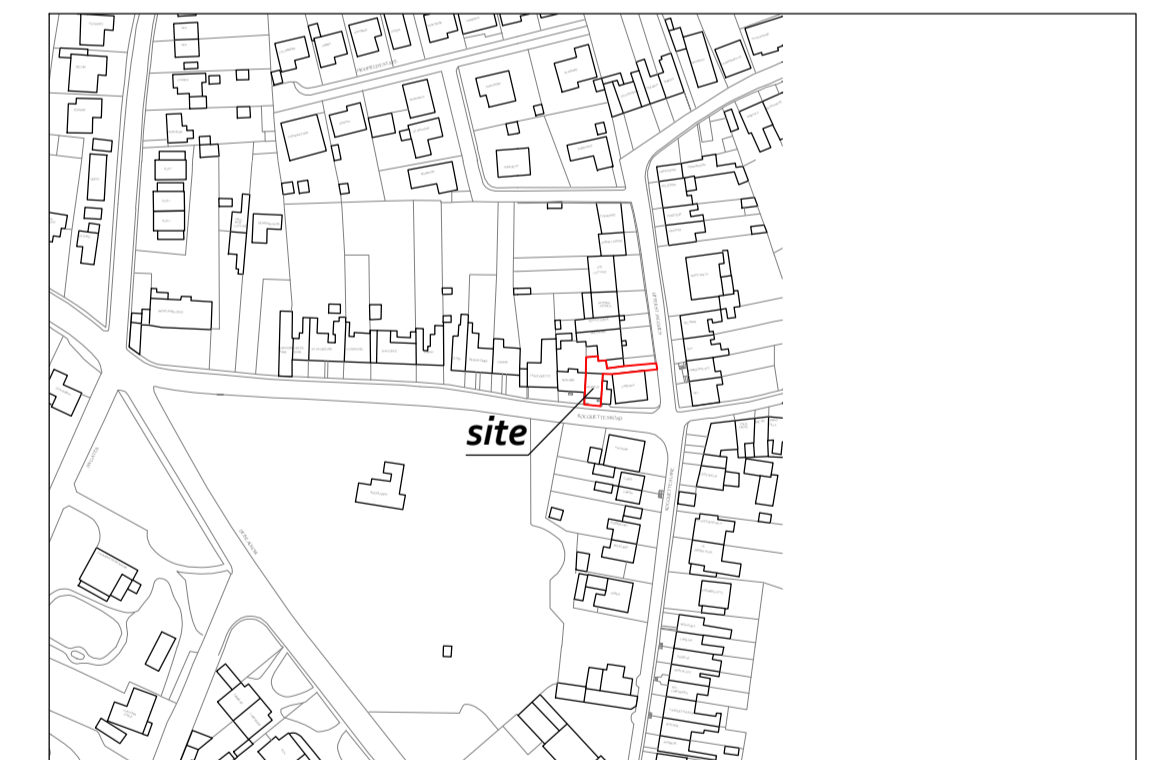
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existing site levels shown thus : +100.000
 proposed site levels shown thus : +100.000



location plan

approximate scale 1 : 2500 @ A1 for identification purposes only - **DO NOT SCALE OFF THIS PLAN**

this location plan has been taken from a map of the Island of Guernsey dated 2004

Client	Mr L de Jersey		
Project	Proposed creation of a vehicular access at Moreton House, La Rocquettes Road, St Peter Port, Guernsey		
Drawing	Planning Permission drawing Plan, section and elevation		
Scale	1 : 50 @ A1	Drawn	lrm
		Date	August 2021
<h1>Brian R Martel</h1> <p>Chartered Member of the Chartered Institute of Architectural Technologists established 1994</p> <p>Vandola - Route de la Lague à L'Érée - St Pierre du Bois - Guernsey - GY7 9HT telephone : +4483 367523 or 07763 463657 e-mail : brmartel@cwgy.net</p>			
Drawing number	4169.02.01	Revision	

any external surfaces of walls within 1000 mm of the relevant boundary should meet Class 0 (National Class) or Class B-s3,d2 or better (European class), ensure that at least 30 minutes fire protection is achieved both internally and externally

all new dwelling houses should be provided with a fire detection and fire alarm system in accordance with the relevant recommendations of BS 5839-6:2004, to at least a Grade D Category LD3 standard, the smoke and heat alarms should be mains-operated and conform to BS EN 14604:2005, they should have a standby power supply, such as a battery (either rechargeable or non-rechargeable) or capacitor, all to comply with BS 5839-6:2004

ensure that the existing, and all new windows, shall be suitable for means of escape, and have a clear opening of 0.30 square metres and an opening width / height no less than 450 mm; replace the existing sashes, or hinges, if found to be necessary

if the building (or part of it) is to be demolished, or undergo major refurbishment, and has been constructed prior to the year 2000, then a demolition / refurbishment survey must be conducted by a qualified and competent asbestos surveyor, no work should commence on any area until the appropriate survey has been carried out and reported on

measurements have been taken at an approximate height of 1300 mm above the finished floor / ground levels

finished levels to ridge, top of chimney stacks, etc., unless otherwise stated, have been assumed, as access to these areas was restricted at the time of the measured survey

a qualified consultant engineer's details of the following, with calculations where necessary, are submitted and approved before that work is commenced:

- adequacy of the existing foundations;
- adequacy of the existing roof structure, floor joists, lintels and beams;
- new foundations, floors, and roof designs;
- new lintel and beam designs;
- new soakaway design

all structural elements are to be detailed and designed by a qualified structural / consulting engineer, and may be the subject of change from indicated on these drawings; any structural information shown on the architectural drawings is indicative, and is for information purposes only

all works of drainage and sanitary plumbing are carried out in accordance with the requirements of Part H of Schedule 1 of the Building (Guernsey) Regulations, 2012 and with BS 8000-13 and 14

parts of windows, skylights and ventilators that project either internally or externally more than about 100 mm horizontally into spaces which are used by people moving in or about the building should be:

- not less than 2000 mm above the ground or floor when in any fixed position; or
- marked by a feature such as a barrier or rail about 1200 mm high to prevent people walking into the projecting part; or
- marked by provision of surfaces with strong tactile differences or by suitable landscaping features, so that people are guided away from them

safety glazing is provided in all critical locations, in accordance with the requirements of Part N of Schedule 1 of the Building (Guernsey) Regulations, 2012

if the property owner and / or the building contractor, sub-contractor, etc. amend the construction details described within these drawings, then they must ensure that the amendments comply with all the relevant regulations and the approval of the Building Control Department, or any other relevant statutory body

the development submitted has been designed to take into account the use of energy and resources and any adverse impact on the environment; the design, including insulation, drainage, water efficiency, materials, waste storage and disposal, and the conservation of fuel and power, meets the requirements of the Building (Guernsey) Regulations, 2012

the materials which are to be removed from the site should be either re-cycled or re-used, prior to taking to a land fill site

the way in which waste is dealt with on the site (reused, recycled or disposed of) should be recorded during the clearing of the site and the construction process; this information will be required in order to inform the final 'site waste management plan' document that is required to be submitted to the Authority at the end of the process; to ensure that the development is managed to minimise waste during the demolition of any existing buildings or structures or during construction; that existing materials are reused, recycled or disposed of either on or off site, and that residual waste will be dealt with appropriately, in accordance with the aims and objectives of Policy GP9

this line is 100 mm long at the original drawing size of A1